

COUNCIL:

BUILDERS WORK

GENERAL NOTES:

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ALL LEVELS HEIGHTS DEPTHS AND DIMENSIONS TO BE CHECKED BY CONTRACTOR ON SITE BEFORE BUILDING. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL BUILDING REGULATIONS. ALL BUILDING MATERIALS AND COMPONENTS TO BE TREATED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. ALL BUILDING MATERIALS & COMPONENTS TO COMPLY WITH REQUIREMENTS CONTAINED IN THE RELEVANT PARTS OF SANS 10400. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

SANS 10400-B, STRUCTURAL DESIGN
ALL STRUCTURAL ELEMENTS TO BE CONSTRUCTED AS PER ENGINEER'S SPECIFICATION AND SANS 10400

SANS 10400-C, DIMENSIONS
ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS FOR AMENDMENT.
MINIMUM ROOM SIZES TO COMPLY WITH SANS 10400-C

SANS 10400-D, PUBLIC SAFETY
FENCE TO BE ERRECTED TO PREVENT THE PUBLIC FROM ENTERING THE SITE DURING CONSTRUCTION.
ANY CHANGE IN LEVEL MORE THAN 1m SHALL BE PROVIDED WITH A BALUSTRADE OR WALL AND SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400-B
IN CASE OF A SWIMMING POOL, THE OWNER SHALL PROVIDE A WALL OR FENCE WITH SELF-CLOSING AND SELF-LATCHING GATE TO ENSURE NO PERSON CAN HAVE ACCESS TO THE POOL FROM THE STREET OR ANY PUBLIC PLACE

SANS 10400-F, SITE OPERATION
SANITARY FACILITIES TO BE PROVIDED DURING CONSTRUCTION AS PER SANS 10400-F AND REMOVED AS SOON AS CONSTRUCTION IS COMPLETE.
WHERE SO REQUIRED, A BUILDING SHALL BE PROTECTED AGAINST SUBTERRANEAN TERMITE ACTIVITY.
ALL STORMWATER DISPOSAL ARRANGEMENTS DURING CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400-R.

SANS 10400-G, EXCAVATIONS
EXCAVATIONS TO BE LESS THAN 3m DEEP OR PER ENGINEER'S SPECIFICATIONS AND TO COMPLY WITH SANS 10400-G

SANS 10400-H, FOUNDATIONS
ALL FOUNDATIONS PER ENGINEER'S SPECIFICATIONS AND SANS 10400-H

SANS 10400-J, FLOORS
ALL FLOORS PER ENGINEER'S SPECIFICATIONS AND SANS 10400-J

SANS 10400-K, WALLS
WALLS ACCORDING TO SANS 10400-K AND R-VALUE OF EXTERNAL WALLS TO COMPLY WITH SANS 10400-XA
EXTERNAL WALLS TO BE 230mm CLAY BRICK WALLS OR 280mm CAVITY WALLS TO BE PLASTERED AND PAINTED BOTH SIDES
INTERNAL WALLS TO BE 115mm OR 230mm CLAY BRICK WALLS TO BE PLASTERED AND PAINTED BOTH SIDES
BOUNDARY WALLS TO BE 230mm CLAY BRICK WALLS MAX 1.8m HIGH, TO BE MAINTENANCE FREE ON NEIGHBOUR'S SIDE

SANS 10400-L, ROOFS
ROOFS ACCORDING TO ENGINEER'S SPECIFICATION AND TO COMPLY WITH SANS 10400-L
ALL TIMBER TO BE ACCORDING TO SANS 10163
PROVIDE INSULATION TO ACHIEVE R-VALUE ACCORDING TO SANS 10400-XA

SANS 10400-M, STAIRWAYS
STAIRWAYS TO HAVE MIN 250mm TREADS WITH MAX 200mm RISERS. ANY FLIGHT OF STAIRS WITH MORE THAN 3 RISERS SHALL HAVE A CONTINUOUS HANDRAIL EXTENDING THE FULL LENGTH OF THE STAIRS.
ALL STAIRWAYS ACCORDING TO SANS 10400-M

SANS 10400-N, GLAZING
ALL GLAZING TO BE ACCORDING TO SANS 10400-N AND FENESTRATION TO COMPLY WITH SANS 10400-XA
THICKNESS OF PANES OF GLASS AS PER SANS 10400-N 4.2
TRANSPARENT GLAZING TO BE MARKED WHERE IT IS NOT LIKELY TO BE APPARENT TO ANY PERSON APPROACHING IT
SAFETY GLAZING TO BE USED FOR ALL DOORS AND SIDELIGHTS. ANY WINDOWS WITH SILL HEIGHT OF LESS THAN 500mm OR A WINDOW ON NORMAL TRAFFIC ROUTE WITH A SILL HEIGHT OF LESS THAN 800mm WITHOUT A PERMANENT BARRIER

SANS 10400-O, LIGHTING AND VENTILATION
TO COMPLY WITH SANS 10400-O AS WELL AS SANS 10400-XA
OPENINGS ON EXTERNAL WALLS TO BE AT LEAST 10% OF THE FLOOR AREA OF THE ROOMS AND THE TOTAL OPENABLE WINDOWS AND DOORS SHALL NOT BE LESS THAN 5% OF THE FLOOR AREA

SANS 10400-P, DRAINAGE
ALL DRAINAGE TO COMPLY WITH SANS 10400-P AND TO BE INSTALLED BY A COMPETENT PERSON (SANITATION)
ALL NEW SOIL WATER PIPES TO BE 100mm uPVC WITH A FALL OF MIN 1:60 AND AN INVERT LEVEL NOT LESS THAN 450mm
ALL NEW WASTE WATER PIPES TO BE 50mm uPVC AND VENTILATION PIPES MIN 40mm. ANY TYPE OF JOINT BETWEEN PIPES OR BETWEEN PIPES AND FITTINGS SHALL BE COMPATIBLE WITH THE MATERIALS OF WHICH SUCH PIPES AND FITTINGS ARE MADE AND MUST REMAIN WATERTIGHT UNDER NORMAL WORKING CONDITIONS. CLEANING AND INSPECTION EYES TO BE INSTALLED ACCORDING TO SANS 10400-P

SANS 10400-R, STORMWATER DISPOSAL
ALL STORMWATER DISPOSAL TO BE ACCORDING TO SANS 10400-R AND ENGINEER'S SPECIFICATION
GUTTERS AND DOWNPIPES TO COMPLY WITH SANS 10400-R 4.3. WATER TO BE COLLECTED IN WATER TANK AND ONLY TO BE USED FOR IRRIGATION

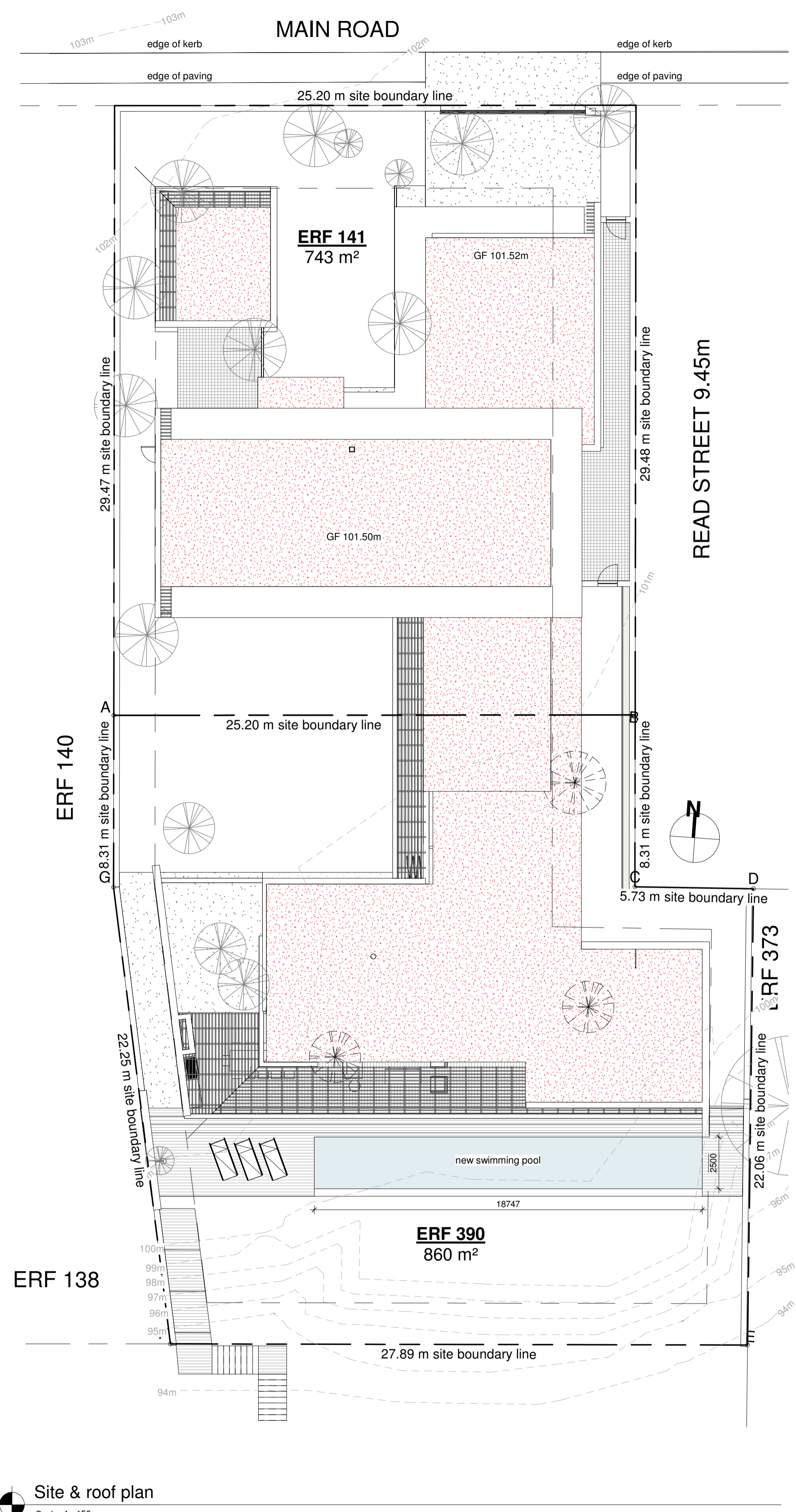
SANS 10400-T, FIRE PROTECTION
FIRE PROTECTION TO COMPLY WITH SANS 10400-T
BUILDING CLASSIFIED AS H3 OR H4 TO COMPLY WITH SANS 10400-T (4.9.2B)
ANY DOOR BETWEEN SUCH GARAGE AND ANY SUCH ROOM SHALL HAVE A FIRE RESISTANCE OF NOT LESS THAN 30 MIN AND SUCH DOORWAY SHALL REQUIRE A THRESHOLD OF NOT LESS THAN 10mm
NO COMBUSTIBLE ROOF COMPONENTS SHALL PENETRATE THE SEPARATING ELEMENT DIVIDING THE SPACE BETWEEN THE GARAGE AND THE HABITABLE ROOM.

SANS 10400-V, SPACE HEATING
ANY FLUE PIPE, CHIMNEY, HEARTH OR FIREPLACE TO COMPLY WITH SANS 10400-V
ALL CHIMNEYS TO BE CONSTRUCTED FROM NON-COMBUSTIBLE MATERIAL AND BE NOT LESS THAN 90mm AND SHALL NOT BE LESS THAN 1m ABOVE THE HIGHEST POINT OF CONTACT BETWEEN SUCH CHIMNEY AND THE ROOF

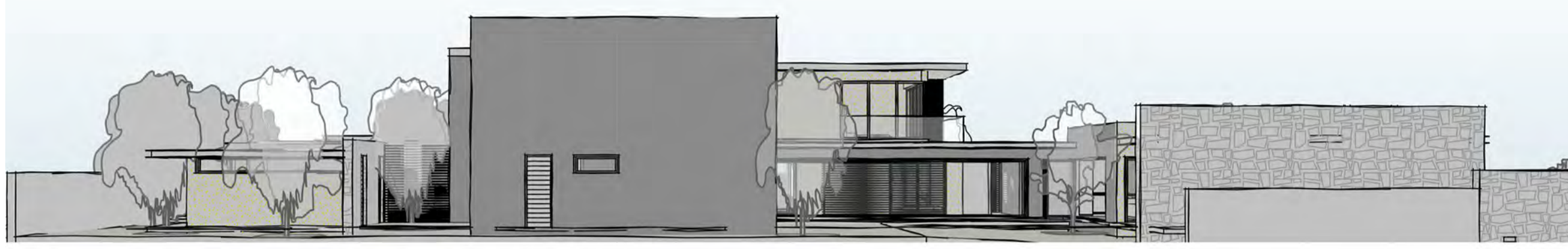
SANS 10400-XA
ENERGY USAGE IN BUILDING TO COMPLY WITH SANS 10400-XA AS WELL AS THE ENERGY EFFICIENCY IN BUILDINGS ACCORDING TO SANS 204.
SEE CALCULATIONS AND DETAILS PROVIDED

ELECTRICAL:
ALL ELECTRICAL WORK TO BE CARRIED OUT BY A REGISTERED ELECTRICIAN.

PLUMBING:
ALL ELECTRICAL WORK TO BE CARRIED OUT BY A REGISTERED PLUMBER.



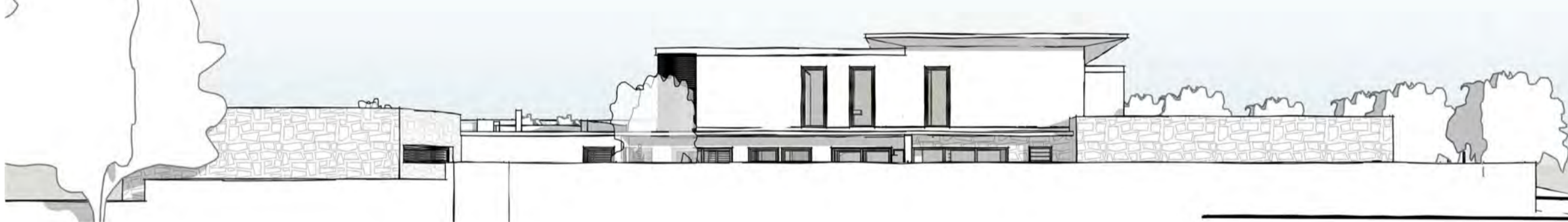
Site & roof plan
Scale - 1 : 150



West Perspective



North Perspective



East Perspective



South Perspective

NOTES

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ACTS OF PARLIAMENT
ALL CONTRACTORS SHALL ENSURE THAT, BEFORE ANY WORK IS PUT IN HAND, THEY COMPLY WITH ALL THE NECESSARY ACTS OF PARLIAMENT OF THE REPUBLIC OF SOUTH AFRICA.

SCHEDULE OF AREAS

| | |
|---------------|---|
| SITE | 1603m ² |
| COVERAGE AREA | 215m ² +495m ² +40m ² =750m ² |
| COVERAGE | 46% |

F.A.R CALCULATION

| | |
|----------------|---|
| AREA FOR F.A.R | 750m ² +215m ² =965m ² |
| F.A.R | 0.6 |

ROOF CALCULATION

| | |
|----------------------|-------------------|
| TOTAL ROOF AREA | 750m ² |
| TOTAL FLAT ROOF AREA | 750m ² |
| TOTAL FLAT ROOF % | 100% |

TOTAL AREAS

| | |
|----------------------|-------------------------|
| HOUSE GF | 495m ² |
| COVERED STOEP | 215m ² |
| NANNY | 40m ² |
| HOUSE FF | 190m ² |
| COVERED BALCONY | 25m ² |
| TOTAL COVERED | 965m² |

ARCHITECT SIGNATURE:

CLIENT SIGNATURE:

| REV. No. | REVISIONS | DATE | BY: |
|----------|-----------|------|-----|
| | | | |
| | | | |

ARCHITECT

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Contact: +27 (0)72 500 5514
Postal: Suite no 5, Cape Quarter, Dixon Street, De Waterkant, Cape Town, 8001



PROJECT
ADDITIONS & ALTERATIONS TO EXISTING DWELLING
ERF 141 & 390, KEURBOOMSTRAND, PLETTENBERG BAY

CLIENT
CAVA MOLA MINING (PTY) LTD
PO BOX 20366, PROTEA PARK, 0305

| | | | | | | | |
|-------------|----------------|------------|------------|-------------|--------------|-------------|----|
| DRAWN BY: | ES | PLOT DATE: | 2021-06-07 | CHECKED BY: | LR | PROJECT No. | 10 |
| DRAWING No. | 2020-CS-12-001 | | | SCALE: | As indicated | | |

FOR INFORMATION
SITE & ROOF PLAN

COUNCIL:

BUILDERS WORK

GENERAL NOTES:

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SANS 10400-B, STRUCTURAL DESIGN
ALL STRUCTURAL ELEMENTS TO BE CONSTRUCTED AS PER ENGINEER'S SPECIFICATION AND SANS 10400

SANS 10400-C, DIMENSIONS
ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS FOR AMENDMENT

SANS 10400-D, PUBLIC SAFETY
FENCE TO BE ERRECTED TO PREVENT THE PUBLIC FROM ENTERING THE SITE DURING CONSTRUCTION

SANS 10400-E, EXCAVATIONS
EXCAVATIONS TO BE LESS THAN 3m DEEP OR PER ENGINEER'S SPECIFICATIONS AND TO COMPLY WITH SANS 10400-G

SANS 10400-F, FOUNDATIONS
ALL FOUNDATIONS PER ENGINEER'S SPECIFICATIONS AND SANS 10400-H

SANS 10400-G, FLOORS
ALL FLOORS PER ENGINEER'S SPECIFICATIONS AND SANS 10400-J

SANS 10400-H, WALLS
WALLS ACCORDING TO SANS 10400-K AND R-VALUE OF EXTERNAL WALLS TO COMPLY WITH SANS 10400-XA

SANS 10400-I, ROOFS
ROOFS ACCORDING TO ENGINEER'S SPECIFICATION AND TO COMPLY WITH SANS 10400-L

SANS 10400-J, STAIRWAYS
STAIRWAYS TO HAVE MIN 250mm TREADS WITH MAX 200mm RISERS. ANY FLIGHT OF STAIRS WITH MORE THAN 3 RISERS SHALL HAVE A CONTINUOUS HANDRAIL

SANS 10400-K, LIGHTING AND VENTILATION
TO COMPLY WITH SANS 10400-O AS WELL AS SANS 10400-XA

SANS 10400-L, DRAINAGE
ALL DRAINAGE TO COMPLY WITH SANS 10400-P AND TO BE INSTALLED BY A COMPETENT PERSON (SANITATION)

SANS 10400-M, STORMWATER DISPOSAL
ALL STORMWATER DISPOSAL TO BE ACCORDING TO SANS 10400-R AND ENGINEER'S SPECIFICATION

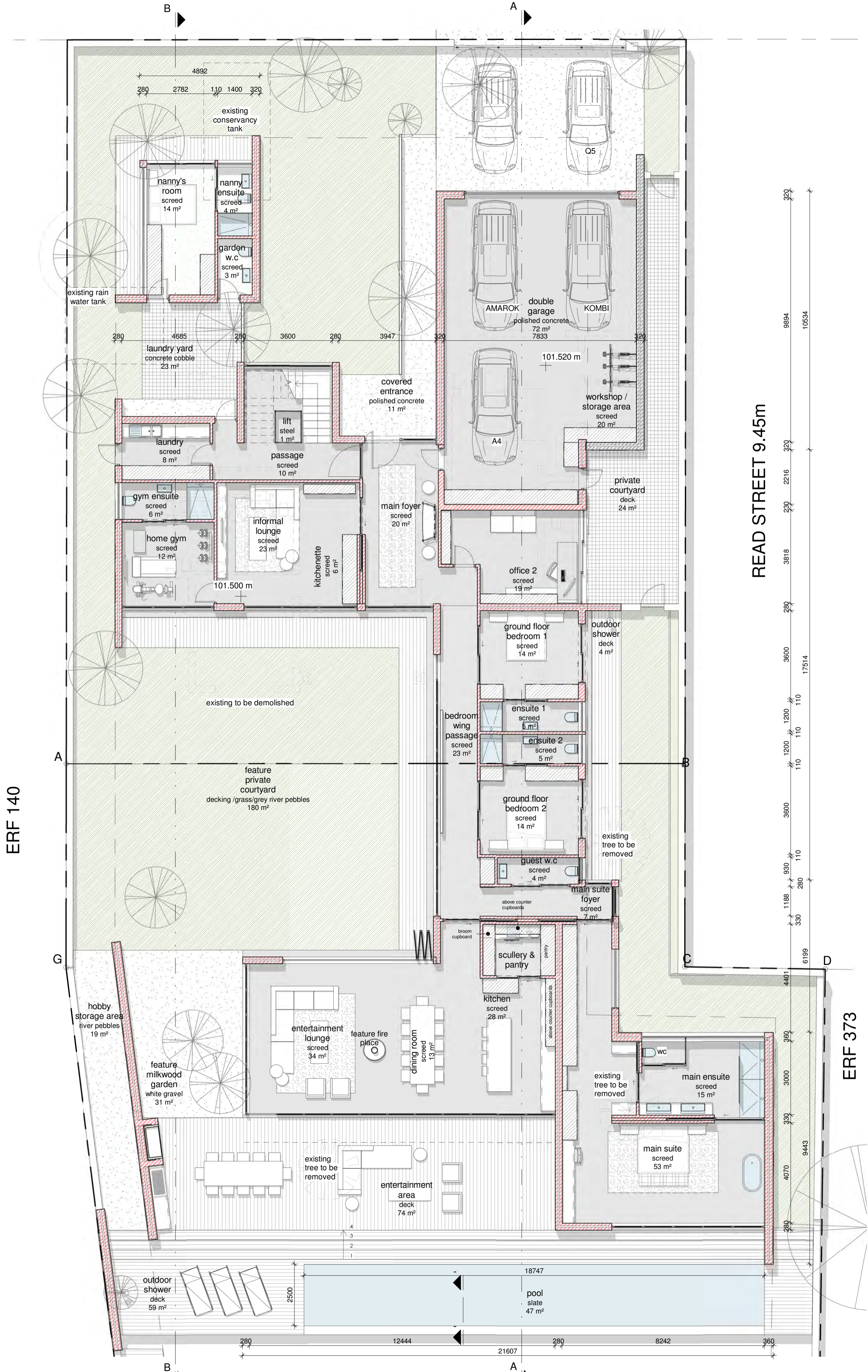
SANS 10400-N, FIRE PROTECTION
FIRE PROTECTION TO COMPLY WITH SANS 10400-T

SANS 10400-O, SPACE HEATING
ANY FLUE PIPE, CHIMNEY, HEARTH OR FIREPLACE TO COMPLY WITH SANS 10400-V

SANS 10400-P, ENERGY USAGE
ENERGY USAGE IN BUILDING TO COMPLY WITH SANS 10400-XA

ELECTRICAL:
ALL ELECTRICAL WORK TO BE CARRIED OUT BY A REGISTERED ELECTRICIAN

PLUMBING:
ALL ELECTRICAL WORK TO BE CARRIED OUT BY A REGISTERED PLUMBER



ground storey level
Scale - 1 : 100

READ STREET 9.45m

ERF 373

ERF 140

NOTES
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SCHEDULE OF AREAS table with columns for SITE, COVERAGE AREA, and COVERAGE.

F.A.R CALCULATION table with columns for AREA FOR F.A.R and F.A.R.

ROOF CALCULATION table with columns for TOTAL ROOF AREA, TOTAL FLAT ROOF AREA, and TOTAL FLAT ROOF %.

TOTAL AREAS table with columns for HOUSE GF, COVERED STOEP, NANNY, HOUSE FF, COVERED BALCONY, and TOTAL COVERED.

ARCHITECT SIGNATURE:

CLIENT SIGNATURE:

Table with columns: REV. No., REVISIONS, DATE, BY.

ARCHITECT

CLD Architects (Pty) Ltd
Web: www.cld.co.za
Contact: +27 (0)72 500 5514



PROJECT
ADDITIONS & ALTERATIONS TO EXISTING DWELLING
ERF 141 & 390, KEURBOOMSTRAND, PLETTENBERG BAY

CLIENT
CAVA MOLA MINING (PTY) LTD
PO BOX 20366, PROTEA PARK, 0305

Table with columns: DRAWN BY, PLOT DATE, CHECKED BY, PROJECT No.

DRAWING No. 2020-CS-12-002 SCALE: As indicated

FOR INFORMATION
GROUND FLOOR

REV.

BUILDERS WORK

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FENCE TO BE ERRECTED TO PREVENT THE PUBLIC FROM ENTERING THE SITE DURING CONSTRUCTION. ANY CHANGE IN LEVEL MORE THAN 1m SHALL BE PROVIDED WITH A BALUSTRADE OR WALL AND SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400-B. IN CASE OF A SWIMMING POOL, THE OWNER SHALL PROVIDE A WALL OR FENCE WITH SELF-CLOSING AND SELF-LATCHING GATE TO ENSURE NO PERSON CAN HAVE ACCESS TO THE POOL FROM THE STREET OR ANY PUBLIC PLACE

SANS 10400-F, SITE OPERATION
SANITARY FACILITIES TO BE PROVIDED DURING CONSTRUCTION AS PER SANS 10400-F AND REMOVED AS SOON AS CONSTRUCTION IS COMPLETE. WHERE SO REQUIRED, A BUILDING SHALL BE PROTECTED AGAINST SUBTERRANEAN TERMITE ACTIVITY. ALL STORMWATER DISPOSAL ARRANGEMENTS DURING CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF SANS 10400-R.

SANS 10400-G, EXCAVATIONS
EXCAVATIONS TO BE LESS THAN 3m DEEP OR PER ENGINEER'S SPECIFICATIONS AND TO COMPLY WITH SANS 10400-G

SANS 10400-H, FOUNDATIONS
ALL FOUNDATIONS PER ENGINEER'S SPECIFICATIONS AND SANS 10400-H

SANS 10400-J, FLOORS
ALL FLOORS PER ENGINEER'S SPECIFICATIONS AND SANS 10400-J

SANS 10400-K, WALLS
WALLS ACCORDING TO SANS 10400-K AND R-VALUE OF EXTERNAL WALLS TO COMPLY WITH SANS 10400-XA. EXTERNAL WALLS TO BE 230mm CLAY BRICK WALLS OR 280mm CAVITY WALLS TO BE PLASTERED AND PAINTED BOTH SIDES. INTERNAL WALLS TO BE 115mm OR 230mm CLAY BRICK WALLS TO BE PLASTERED AND PAINTED BOTH SIDES. BOUNDARY WALLS TO BE 230mm CLAY BRICK WALLS MAX 1.8m HIGH, TO BE MAINTENANCE FREE ON NEIGHBOUR'S SIDE

SANS 10400-L, ROOFS
ROOFS ACCORDING TO ENGINEER'S SPECIFICATION AND TO COMPLY WITH SANS 10400-L. ALL TIMBER TO BE ACCORDING TO SANS 10163. PROVIDE INSULATION TO ACHIEVE R-VALUE ACCORDING TO SANS 10400-XA

SANS 10400-M, STAIRWAYS
STAIRWAYS TO HAVE MIN 250mm TREADS WITH MAX 200mm RISERS. ANY FLIGHT OF STAIRS WITH MORE THAN 3 RISERS SHALL HAVE A CONTINUOUS HANDRAIL EXTENDING THE FULL LENGTH OF THE STAIRS. ALL STAIRWAYS ACCORDING TO SANS 10400-M

SANS 10400-N, GLAZING
ALL GLAZING TO BE ACCORDING TO SANS 10400-N AND FENESTRATION TO COMPLY WITH SANS 10400-XA. THICKNESS OF PANES OF GLASS AS PER SANS 10400-N 4.2. TRANSPARENT GLAZING TO BE MARKED WHERE IT IS NOT LIKELY TO BE APPARENT TO ANY PERSON APPROACHING IT. SAFETY GLAZING TO BE USED FOR ALL DOORS AND SIDELIGHTS. ANY WINDOWS WITH SILL HEIGHT OF LESS THAN 500mm OR A WINDOW ON NORMAL TRAFFIC ROUTE WITH A SILL HEIGHT OF LESS THAN 800mm WITHOUT A PERMANENT BARRIER

SANS 10400-O, LIGHTING AND VENTILATION
TO COMPLY WITH SANS 10400-O AS WELL AS SANS 10400-XA. OPENINGS ON EXTERNAL WALLS TO BE AT LEAST 10% OF THE FLOOR AREA OF THE ROOMS AND THE TOTAL OPENABLE WINDOWS AND DOORS SHALL NOT BE LESS THAN 5% OF THE FLOOR AREA

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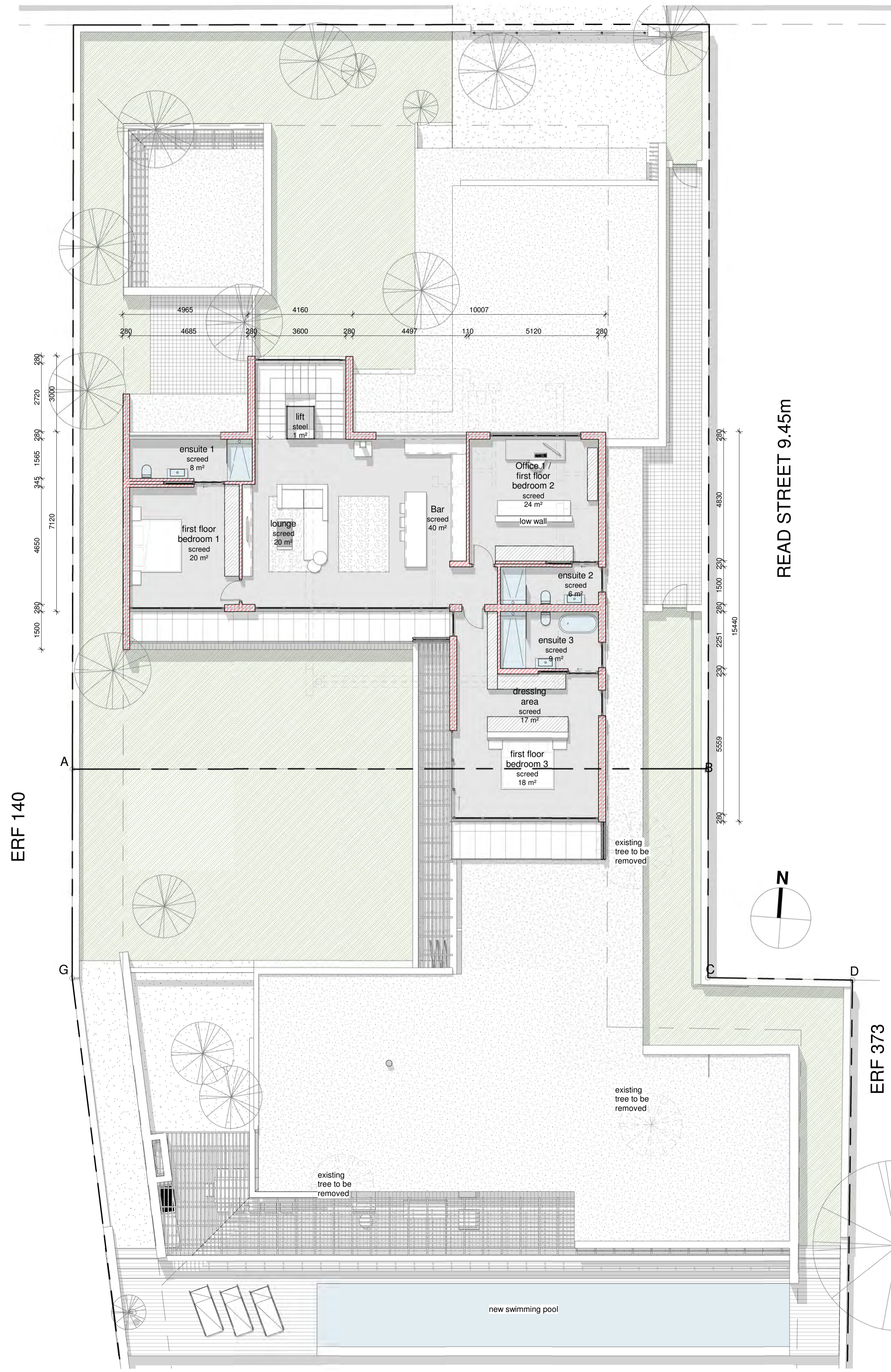
SANS 10400-T, FIRE PROTECTION
FIRE PROTECTION TO COMPLY WITH SANS 10400-T. BUILDING CLASSIFIED AS H3 OR H4 TO COMPLY WITH SANS 10400-T (4.9.2B). ANY DOOR BETWEEN SUCH GARAGE AND ANY SUCH ROOM SHALL HAVE A FIRE RESISTANCE OF NOT LESS THAN 30 MIN AND SUCH DOORWAY SHALL REQUIRE A THRESHOLD OF NOT LESS THAN 10mm. NO COMBUSTIBLE ROOF COMPONENTS SHALL PENETRATE THE SEPARATING ELEMENT DIVIDING THE SPACE BETWEEN THE GARAGE AND THE HABITABLE ROOM.

SANS 10400-V, SPACE HEATING
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SANS 10400-XA, ENERGY USAGE
ENERGY USAGE IN BUILDING TO COMPLY WITH SANS 10400-XA AS WELL AS THE ENERGY EFFICIENCY IN BUILDINGS ACCORDING TO SANS 204. SEE CALCULATIONS AND DETAILS PROVIDED

ELECTRICAL:
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PLUMBING:
ALL ELECTRICAL WORK TO BE CARRIED OUT BY A REGISTERED PLUMBER.



first storey level
Scale - 1 : 100

NOTES

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ACTS OF PARLIAMENT
ALL CONTRACTORS SHALL ENSURE THAT, BEFORE ANY WORK IS PUT IN HAND, THEY COMPLY WITH ALL THE NECESSARY ACTS OF PARLIAMENT OF THE REPUBLIC OF SOUTH AFRICA.

SCHEDULE OF AREAS

| | |
|---------------|------------------------|
| SITE | 1603m² |
| COVERAGE AREA | 215m²+495m²+40m²=750m² |
| COVERAGE | 46% |

F.A.R CALCULATION

| | |
|----------------|-------------------|
| AREA FOR F.A.R | 750m²+215m²=965m² |
| F.A.R | 0.6 |

ROOF CALCULATION

| | |
|----------------------|-------|
| TOTAL ROOF AREA | 750m² |
| TOTAL FLAT ROOF AREA | 750m² |
| TOTAL FLAT ROOF % | 100% |

TOTAL AREAS

| | |
|----------------------|--------------|
| HOUSE GF | 495m² |
| COVERED STOEP | 215m² |
| NANNY | 40m² |
| HOUSE FF | 190m² |
| COVERED BALCONY | 25m² |
| TOTAL COVERED | 965m² |

ARCHITECT SIGNATURE:

CLIENT SIGNATURE:

| REV. No. | REVISIONS | DATE | BY: |
|----------|-----------|------|-----|
| | | | |
| | | | |

ARCHITECT

CLD Architects (Pty) Ltd
Web: www.cld.co.za Mail: info@cld.co.za
Contact: +27 (0)72 500 5514
Postal: Suite no 5, Cape Quarter, Dixon Street, De Waterkant, Cape Town, 8001



PROJECT
ADDITIONS & ALTERATIONS TO EXISTING DWELLING
ERF 141 & 390, KEURBOOMSTRAND, PLETTENBERG BAY

CLIENT
CAVA MOLA MINING (PTY) LTD
PO BOX 20366, PROTEA PARK, 0305

| | | | | | | | |
|-------------|----------------|------------|------------|-------------|--------------|-------------|----|
| DRAWN BY: | ES | PLOT DATE: | 2021-06-07 | CHECKED BY: | LR | PROJECT No. | 10 |
| DRAWING No. | 2020-CS-12-003 | | | SCALE: | As indicated | | |

FOR INFORMATION
FIRST FLOOR