

STATEMENT OF INDEPENDENCE

I, Benjamin Alan Walton, trading as “Cape Vegetation Surveys”, in terms of section 33 of the NEMA, 1998 (Act No. 107 of 1998), as amended, hereby declare that I provide services as an independent botanical specialist and receive remuneration for services rendered for expressing a factual account of the baseline environment. I have no financial or other vested interest in the project. Botanical information contained in the report may not be copied without the authors consent.

An abridged Curriculum Vitae:

Benjamin Alan Walton

Experience: Cape Vegetation Surveys: Consulting Botanist 2017-2020

Western Cape Nature Conservation Board (CapeNature), Scientist: Land Use Advisor 2010-2017;

Department of Environmental Affairs and Development Planning, Principal Environmental Officer (George) 2008-2010;

Cape Vegetation Surveys: Consulting Botanist (Cape Town) 2006-2008;

Qualification: M.Sc. Forestry (Conservation Ecology), Stellenbosch University, 2001- 2006;

B.Sc. Botany, University of Cape Town, 1986-1989.

BENJAMIN WALTON

*Consulting Ecologist for Eden & Central Karoo Districts
B.Sc. (Bot.), M.Sc. Forestry (Cons. Ecol.)*

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Wilderness*



(1) Introduction and Terms of Reference

The terms of reference is to conduct a vegetation survey to confirm the vegetation unit and conservation status; and describe the vegetation and sensitivity, with reference to the fynbos forum ecosystems and NEMA specialist guidelines. This is to inform the environmental impact (specifically botanical) of activities within transformed Goukamma Dune Thicket habitat; and identify risks, suggest mitigation and make recommendations for implementation. The sensitivity of the study area (see Fig. 1) adjacent to the municipal parking area at Keurboomstrand is described in context of the remaining natural habitat, current land use and suitability of development.



Figure 1: Showing the property (magenta polygon) at Keurboomstrand (image courtesy of Google Earth; ca. 2009).

Our reference: 210518

Your reference:

21 May 2021

Cape EAPrac

17 Progress Street

George 6530

Attention: Melissa Mackay

Per e-mail [mel@cape-eaprac.co.za]

Dear Applicant,

Proposal: Coastal Engineer's Report for Erf 390 & Erf 141 Keurboomstrand

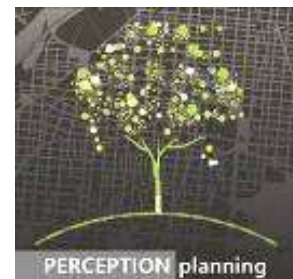
Terms of reference

A Coastal Engineer's Report has been requested for Erf 390 and Remainder Erf 141 in Keurboomstrand. The applicant is proposing the consolidation of these two erven back into their original erf, breaking down the existing dwelling and rebuilding a new dwelling.



Figure 1: Location of the Erf (Google Earth)

Southern Cape Office:
7 Imelda Court, 103 Meade Street
PO Box 9995 George, 6530



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E-mail: perceptionplanning@gmail.com
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CC Reg. No. 2003/102950/23

Our ref: KEU/Rem 141,390/Sec 34/2021
DEADP Ref: 16/3/3/6/7/1/D1/6/0110/21

VIA E-MAIL
29th November 2021

C/o Cape Environmental Assessment Practitioners (Pty) Ltd
PO Box 2070
GEORGE
6530

Attention: Melissa Mackay,

APPLICABILITY OF SECTION 38 OF THE NATIONAL HERITAGE RESOURCES ACT, 1999 (ACT 25 OF 1999): PROPOSED CONSOLIDATION, REZONING AND DEPARTURE (RELAXATION OF BUILDING LINES): REMAINDER OF ERF 141 AND ERF 390 (61 MAIN STREET, KEURBOOMSTRAND), KNYSNA DISTRICT AND BITOU MUNICIPALITY

1. Our communications in relation to the above proposal refer.
2. In terms of the provisions of Section 38(1) of the National Heritage Resources Act, 1999 (Act 25 of 1999)(NHRA), any person in intending to undertake any development which may trigger one or more of the development activities listed in **Table 1** below must, "at the very earliest stages of initiating such a development, notify the responsible heritage resources authority and furnish it with details regarding the location, nature and extent of the proposed development". In the Western Cape Province this requirement would normally necessitate submission of a "Notice of Intent to Develop" (NID) to the competent authority, being "Heritage Western Cape" (HWC).
3. The proposed development does not trigger any development activity(ies) listed in terms of Section 38 of the NHRA, as outlined in **Table 1** below and therefore no application (Notice of Intent to Develop) is required:

Sec. 38	Development activity	Applicable (Yes/No)
(1)(a)	Construction of a road, wall, powerline, pipeline, canal or other similar form of linear development or barrier exceeding 300m in length.	No
(1)(b)	Construction of a bridge or similar structure exceeding 50 m in length.	No
(1)(c)	Any development or other activity which will change the character of a site:	No
	(i) exceeding 5,000m ² in extent;	No
	(ii) involving three or more existing erven or subdivisions thereof;	No
	(iii) involving three or more erven or divisions thereof which have been consolidated within the past five years;	No
(iv) the costs of which will exceed a sum set in terms of regulations by SAHRA or a provincial heritage resources authority.	No	
(1)(d)	Rezoning of a site exceeding 10,000m ² in extent.	No
(1)(e)	Any other category of development provided for in regulations by SAHRA or a provincial heritage resources authority.	No

Table 1: Section 38 of NHRA development activity(ies) triggered through the proposal for redevelopment of the Remainder of Erf 141 and Erf 390, Keurboomstrand.

4. The development proposal does however trigger Section 34(1) of the NHRA stating that, "No person may alter or demolish any structure or part of a structure which is older than 60 years without a permit issued by the relevant provincial heritage resources authority.". A permit application in terms of Section 34 of the NHRA was submitted to HWC during August 2021 and the outcome awaited.
5. It is trusted that you find the above in order. However, please do not hesitate to contact the writer, should any additional information be required.

Yours faithfully,
PERCEPTION Planning

STEFAN DE KOCK
Hons: TRP(SA) EIA Mgmt(IRL) Pr. Pln PHP